

GREEN CART FOOD PREPARATION FACILITY 6319 EL MIRANDO STREET AUSTIN, TRAVIS COUNTY, TEXAS

IMPERVIOUS COVER CALCULATIONS			
EXISTING		PROPOSED	
TOTAL AREA OF SUBJECT TRACT: 0.1622 ACRES 7065.43 SF			
BUILDINGS:	0.00 ACRES 0.00 SF 0.00%	BUILDINGS:	0.045 ACRES 1941.86 SF 27.74%
PARKING / DRIVEWAYS:	0.0297 ACRES 1290.00SF 18.26%	PARKING / DRIVEWAYS:	0.043 ACRES 1858.74 SF 26.31%
SIDEWALKS / WALKWAYS:	0.00 ACRES 0.00 SF 0.00%	SIDEWALKS / WALKWAYS:	0.036 ACRES 1575.28 SF 22.30%
OTHER:	0.00 ACRES 0.00 SF 0.00%	OTHER:	0.00 ACRES 0.00 SF 0.00%
TOTALS:	0.0297 ACRES 1290.00SF 18.26%	TOTALS:	0.124 ACRES 5401.44 SF 76.45%

PARKING CALCULATIONS	
PARKING SPACE RATIO PER COA TCM, SCH. A: 1 SP. / 1000 SF	
REQUIRED:	PROVIDED:
SIZE / TYPE: 17'-0"X8'-6"	SIZE / TYPE: 17'-0"X8'-6"
2	2
	SIZE / TYPE: ACCESSIBILITY 1
TOTALS:	TOTALS:
2	3

BUILDING / LOT / ZONING INFO.	
TOTAL AREA OF SUBJECT TRACT: 0.1622 ACRES 7065.43 SF	
ZONING: CS PROPOSED USAGE: FOOD PREPARATION	
BUILDING INFO: MAX. BUILDING COVERAGE PER COA CODE: 95% PROPOSED BUILDING COVERAGE: 27.74% FAR RATIO PER COA CODE: 2.1 FAR RATIO PROPOSED: 0.294:1	
LOT INFO: MIN. LOT SIZE ALLOWED PER COA CODE: 5750 SF EXISTING & PROPOSED LOT SIZE: 7065 SF MIN. LOT WIDTH PER COA CODE: 50'-0" EXISTING & PROPOSED LOT WIDTH: 100.02' MAX. BLDG HEIGHT PER COA CODE: 60'-0" PROPOSED BUILDING HEIGHT: 25'-0" (APPROX.) SINGLE STORY SETBACKS PER COA CODE: FRONT YARD: 10'-0" STREET SIDE YARD: 10'-0" INTERIOR SIDE YARD: --- REAR YARD: --- MAX. IMPERVIOUS COVER ALLOWED PER COA CODE: 80% (LDC 25-8-394(C)) IMPERVIOUS COVER PROPOSED: 76.45%	

REVISIONS/CORRECTIONS							
Number	Description	Revise (R) Add (A) Void (V) Sheet No.'s	Total # Sheets in Plan Set	Net Change Imp. Cover (sq.ft.)	Total Site Imp. Cover (sq. ft.) %	City of Austin Approval-Date	Date Imaged



PROJECT SITE

LEGAL DESCRIPTION:
0.1622 ACRE OF LAND, MORE OR LESS, OUT OF THE SANTIAGO DEL VALLE GRANT IN TRAVIS COUNTY TEXAS, SAME BEING ALL THAT CERTAIN TRACT OR PARCEL OF LAND CONVEYED TO JUDITH E. FOWLER RECORDED BY DEED ON AUGUST 20, 1979 IN THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY TEXAS, VOL. 6668, PAGE 687.

RELATED COA DEVELOPMENTAL CASES:

ZONING: N/A

LAND STATUS DETERMINATION: C81-02-0058

OWNER:
THE GREEN CART HOLDINGS, LLC.
Mr. JEFF JACKSON
503 RIDGE OAK DRIVE
AUSTIN, TEXAS 78731

CIVIL ENGINEER DESIGNER:
GENESIS 1 ENGINEERING CO.
GEORGE A. GONZALEZ, JR., PE
2605 JONES ROAD, SUITE E
AUSTIN, TEXAS 78745
512.899.2246, FAX 512.899.2203

LANDSCAPING DESIGN:
GENESIS 1 ENGINEERING CO.
GEORGE A. GONZALEZ, JR., PE
2605 JONES ROAD, SUITE E
AUSTIN, TEXAS 78745
512.899.2246, FAX 512.899.2203

NOTES UNLESS OTHERWISE SPECIFIED:
SUBMITTAL DATE: MARCH 3, 2008
WATERSHED: COUNTRY CLUB EAST
WATERSHED CLASSIFICATION: SUBURBAN
FLOODPLAIN: THE SUBJECT TRACT(S) LIE OUTSIDE THE BOUNDARIES OF THE 100 YEAR FLOODPLAIN AS PER FEMA FIRM MAP NO. 48453C0170G WITH AN EFFECTIVE DATE OF JANUARY 19, 2000.
EDWARDS AQUIFER: NO PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE AREA ENCOMPASSED BY THE EDWARDS AQUIFER OR ITS ASSOCIATED RECHARGE ZONE.
RELATED CASES:
ZONING: NONE
SUBDIVISION: NONE
SITE PLAN: NONE
ANNEXATION: NONE
LAND STATUS: C81-02-0058
MAPSCO REFERENCES: PAGE 616, ML20
CITY GRID: L20
1) Site work shall be developed, constructed, and maintained in conformance with the terms and conditions of The City of Austin.
2) THIS SITE PLAN IS SUBJECT TO SUBCHAPTER E OF THE LAND DEVELOPMENT CODE.
3) SCREENING FOR SOLID WASTE COLLECTION AND LOADING AREAS SHALL BE AS, OR EQUAL TO, PRINCIPAL BUILDING MATERIALS

MAPSCO: PAGE 616 GRID ML20

SHEET INDEX	
NO.	DESCRIPTION
1	COVER SHEET
2	NOTES - GENERAL
3	EXISTING CONDITIONS
4	SITE PLAN - PROPOSED CONDITIONS
5	GRADING AND DRAINAGE PLAN
6	WATER QUALITY AND / OR DETENTION CONTROLS
7	UTILITY PLAN
8	EROSION / SEDIMENTATION / T.P. PLAN
9	TRAFFIC CONTROL PLAN
10	LANDSCAPE PLAN AND CALCULATIONS
11	DETAILS - CITY OF AUSTIN - GENERAL
12	DETAILS - CITY OF AUSTIN - WATER / W. WATER
13	DETAILS - CITY OF AUSTIN - TRAFFIC CONTROL

AUSTIN WATER UTILITY INFORMATION	
STREET NAME	EL MIRANDO ST. / THRASHER LANE
PRESSURE ZONE	CENTRAL
PROTECTED STREET	NO
ALTERNATIVES	NO
ESTIMATED COST OF ALTERNATIVES	N/A
BUILDING SIZE	1941.86 SF
CONSTRUCTION TYPE	V-B
SPRINKLER SYSTEM	NO
FIRE FLOW DEMAND	1500 GPM
FIRE FLOW AVAILABLE	1501 GPM @ 80 PSI
STATIC PRESSURE	100 PSI
COMMENTS	
PROFESSIONAL ENGINEER	
AUSTIN WATER UTILITY	

SIGNATURES BLOCK

SITE PLAN SUBMITTED BY: *[Signature]* DATE: 01/24/09

GEORGE A. GONZALEZ JR PE
GENESIS 1 ENGINEERING COMPANY
2605 JONES ROAD, SUITE E 1
AUSTIN, TEXAS 78745-2684

APPROVED BY: _____ DATE _____

CITY OF AUSTIN
WATERSHED PROTECTION
AND DEVELOPMENT REVIEW
DEPARTMENT

CITY OF AUSTIN
FIRE DEPARTMENT

CITY OF AUSTIN
INDUSTRIAL WASTE SECTION

**VERSION 7.00
COVER SHEET**

No.	Revision/Issue	Date

G/E

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(512) 899-2203 Fax
engineer1@genesis1engineering.com

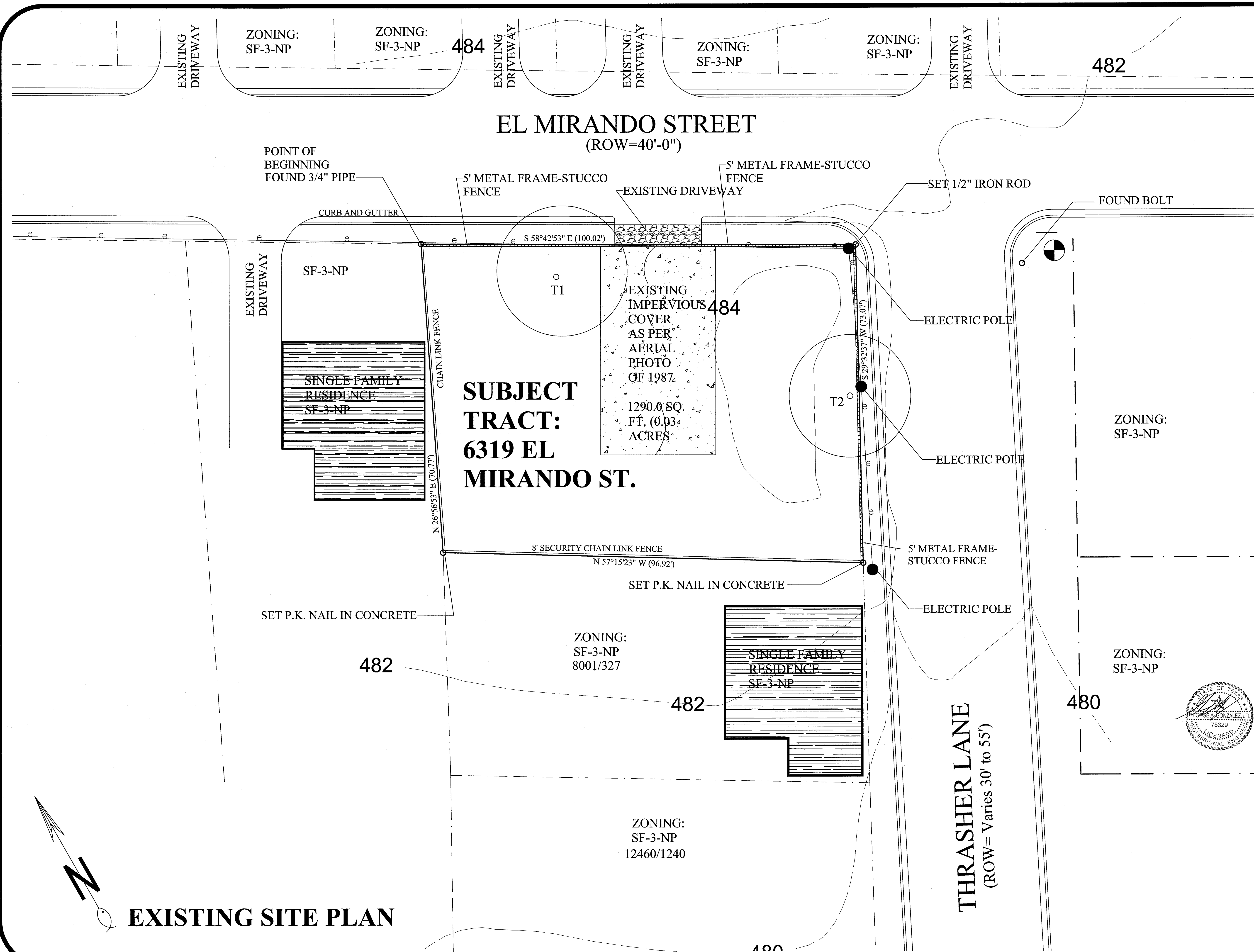
Project Name and Address

**GREEN CART FOOD PREPARATION FACILITY
6319 EL MIRANDO STREET
AUSTIN, TRAVIS COUNTY, TEXAS**

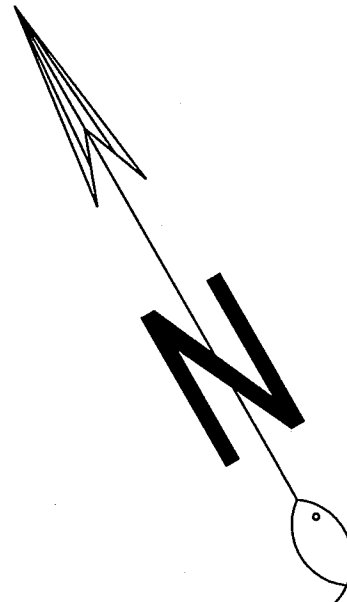
Project	AU-07-83	Sheet	CE 1 OF 13
Date			
Scale	AS SHOWN		

COVER SHEET

CASE NO.: SP-2008-0121C



EXISTING SITE PLAN



General Notes

SITE PLAN NOTES:

- General Contractor shall acquire all necessary developmental permits from the City of Austin Development and Inspections Department. Permits shall be displayed prominently at jobsite during the duration of the project.
- Project site shall be cleared of all surface vegetation, grubbed, and excess spoils shall be disposed in a lawful and proper way.
- Once site has been cleared and prepared, concrete contractor shall commence the construction of the concrete foundation.

Additional Notes:

- These drawings are the property of Genesis 1 Engineering Co. Copying without written permission From Genesis 1 Engineering Co. is forbidden.
- If there are any discrepancies in the site dimensions and these drawings, the discrepancies shall be brought to the attention of Genesis 1 Engineering Co. for resolution.
- Changes without the written consent of Genesis 1 Engineering Co. shall not be permitted, and the contractor(s) shall bear the liability for the changes.

TREE SURVEY*:	
TYPE:	CAL. IN.
T1: SYCAMORE	15"
T2 AMERICAN ELM	15"

NOTE: ALL EXISTING TREES TO BE REMOVED IN ORDER TO MEET CERTAIN REQUIREMENTS OF SUBCHAPTER E. REMOVED TREES TO BE MITIGATED FOR BY PLANTING REPLACEMENT TREES WITHIN THE STREET TREE / FURNITURE ZONE OF THE PROPOSED DEVELOPMENT.

VERSION 7.00

No.	Revision/Issue	Date

Firm Name and Address

G/E

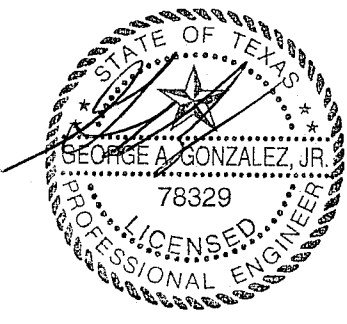
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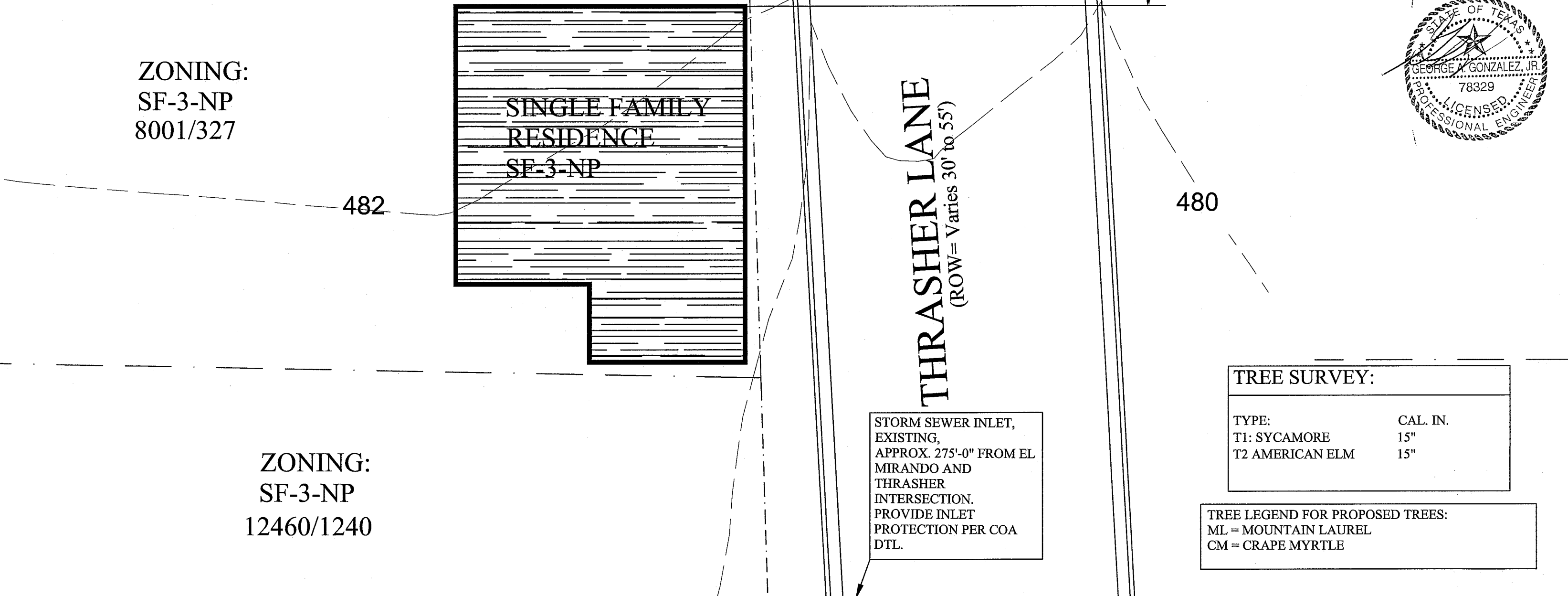
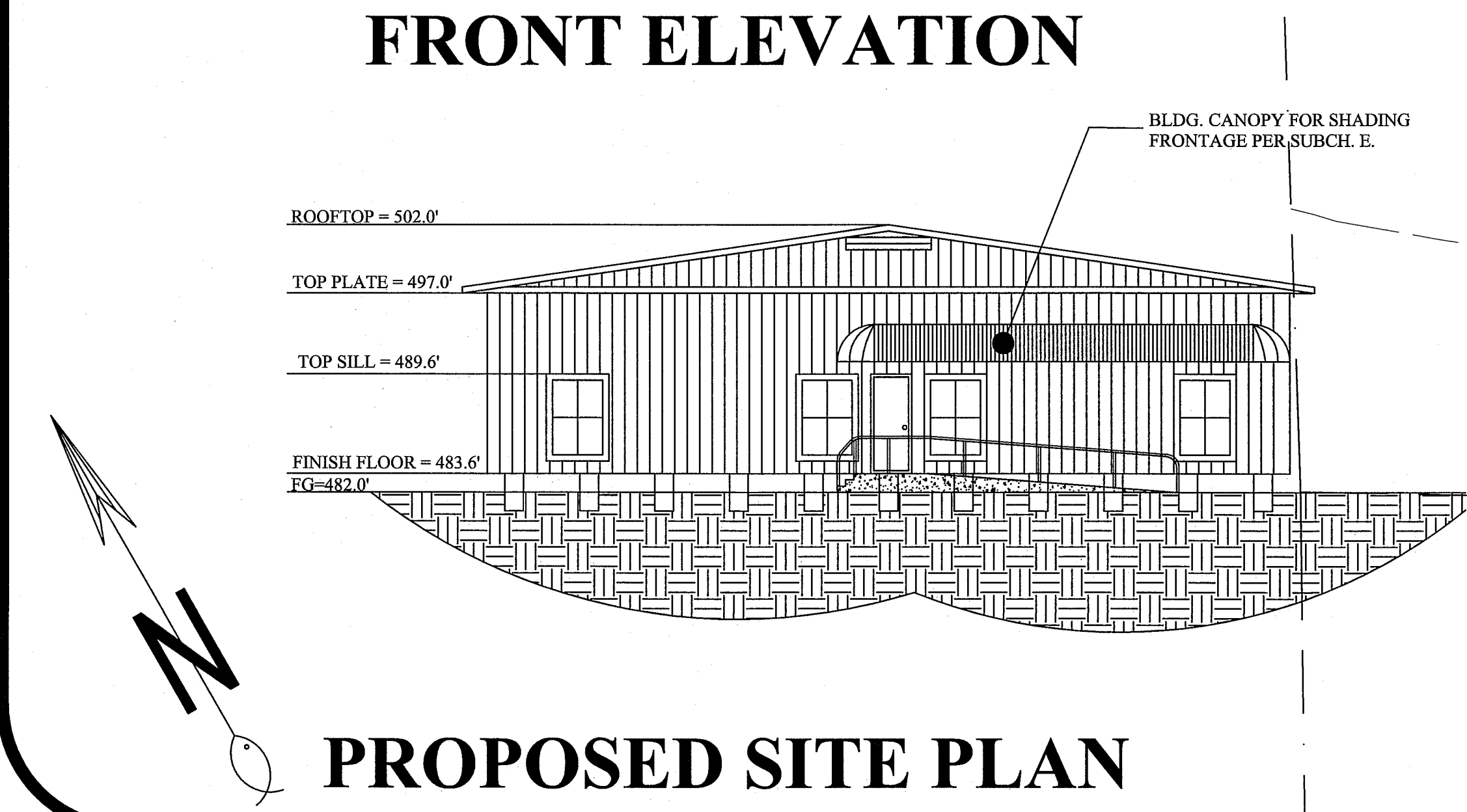
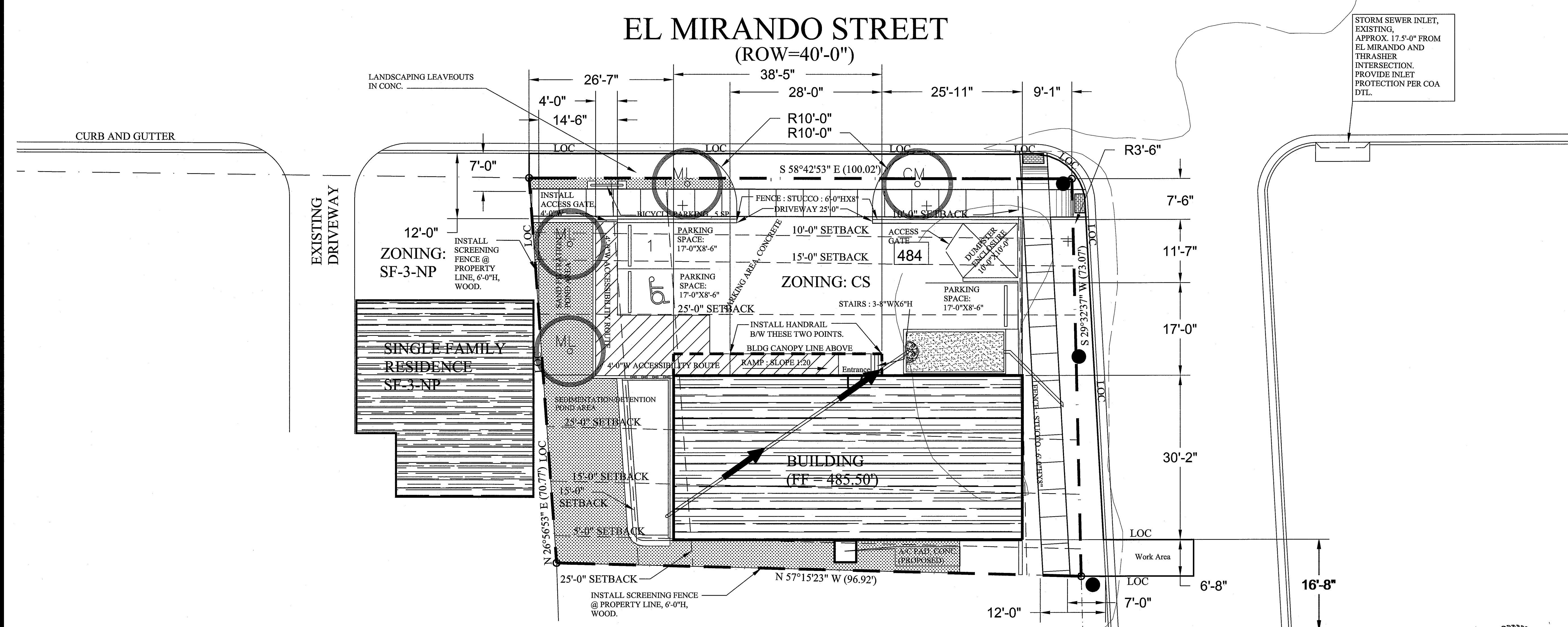
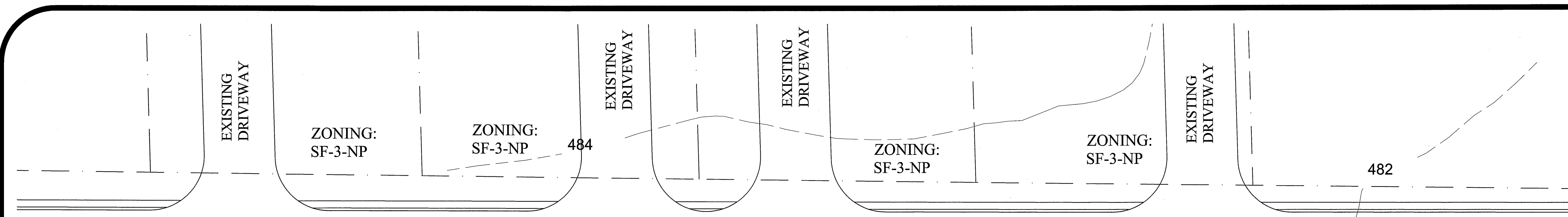
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6319 EL MIRANDO STREET
AUSTIN, TRAVIS COUNTY, TEXAS

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General Notes

COMPATIBILITY NOTES:

- The noise level of mechanical equipment will not exceed 70 dba at the property line adjacent to residential use.
- All exterior lighting shall be hooded or shielded from view of the adjacent residential property.
- All dumpsters and any permanently placed refuse will be located at a minimum of twenty (20) feet from a property used or zoned as SF-5 or more restrictive.
- Yards, fences, vegetative screening, or berms shall be provided to screen adjacent SF-5 or more restrictive residential districts from views of off-street parking areas, mechanical equipment, storage, and for refuse collection. (LDC 25-2-1066)

SITE PLAN RELEASE NOTE:

- ALL IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE RELEASED SITE PLAN. ANY ADDITIONAL IMPROVEMENTS WILL REQUIRE A SITE PLAN AMENDMENT AND APPROVAL OF THE WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT.
- APPROVAL OF THIS SITE PLAN DOES NOT INCLUDE BUILDING AND FIRE CODE APPROVAL, NOR BUILDING PERMIT APPROVAL.
- ALL SIGNS MUST COMPLY WITH THE LAND DEVELOPMENT CODE, CHAPTER 25-10.
- ADDITIONAL ELECTRIC EASEMENTS MAY BE REQUIRED AT A LATER DATE.
- WATER AND WASTEWATER SERVICE WILL BE PROVIDED BY THE CITY OF AUSTIN'S AUSTIN WATER UTILITY.
- ALL EXISTING STRUCTURES SHOWN TO BE REMOVED WILL REQUIRE A DEMOLITION PERMIT FROM THE CITY OF AUSTIN'S WATERSHED PROTECTION AND DEVELOPMENT REVIEW DEPARTMENT.
- A DEVELOPMENT PERMIT MUST BE ISSUED PRIOR TO AN APPLICATION FOR BUILDING PERMIT FOR NON-CONSOLIDATED OR PLANNING COMMISSION APPROVED SITE PLANS.
- NO CERTIFICATE OF OCCUPANCY MAY BE ISSUED FOR A PROPOSED RESIDENTIAL CONDOMINIUM PROJECT UNTIL THE OWNER, OR OWNERS OR THE PROPERTY HAVE COMPLIED WITH CHAPTER 81 AND 82 OF THE PROPERTY CODE OF THE STATE OF TEXAS, OR ANY OTHER STATUTES ENACTED BY THE STATE OF TEXAS REGARDING CONDOMINIUMS.
- FOR DRIVEWAY CONSTRUCTION, THE OWNER IS RESPONSIBLE FOR ALL COSTS FOR RELOCATION OF, OR DAMAGE TO UTILITIES.
- FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, A ROW EXCAVATION PERMIT IS REQUIRED.

LIMITS OF CONSTRUCTION NOTE(S):

- LIMITS OF CONSTRUCTION = JUST INSIDE PROPERTY LINE UNLESS OTHERWISE SPECIFIED.

LANDSCAPE PROTECTION NOTE:

- ALL LANDSCAPED AREAS ARE TO BE PROTECTED BY 6" WHEEL CURBS, WHEELSTOPS, OR OTHER APPROVED BARRIERS AS PER THE COA ECM 2.4.7.

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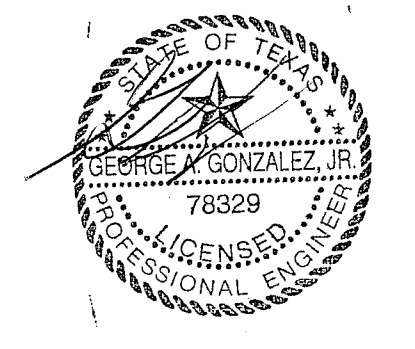
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Project Name and Address
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 6319 EL MIRANDO STREET
 AUSTIN, TRAVIS COUNTY, TEXAS

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TREE SURVEY:

TYPE:	CAL. IN.
T1: SYCAMORE	15"
T2 AMERICAN ELM	15"

TREE LEGEND FOR PROPOSED TREES:
 ML = MOUNTAIN LAUREL
 CM = CRAPE MYRTLE

STORM SEWER INLET, EXISTING, APPROX. 275'-0" FROM EL MIRANDO AND THRASHER INTERSECTION. PROVIDE INLET PROTECTION PER COA DTL.

EL MIRANDO STREET
(ROW=40'-0")

URB AND GUTTER

EXISTING DRIVEWAY

ZONING:
SF-3-NP

SINGLE FAMILY
RESIDENCE
SF-3-NP

EXISTING DRIVEWAY

ZONING:
SF-3-NP 484

EXISTING DRIVEWAY

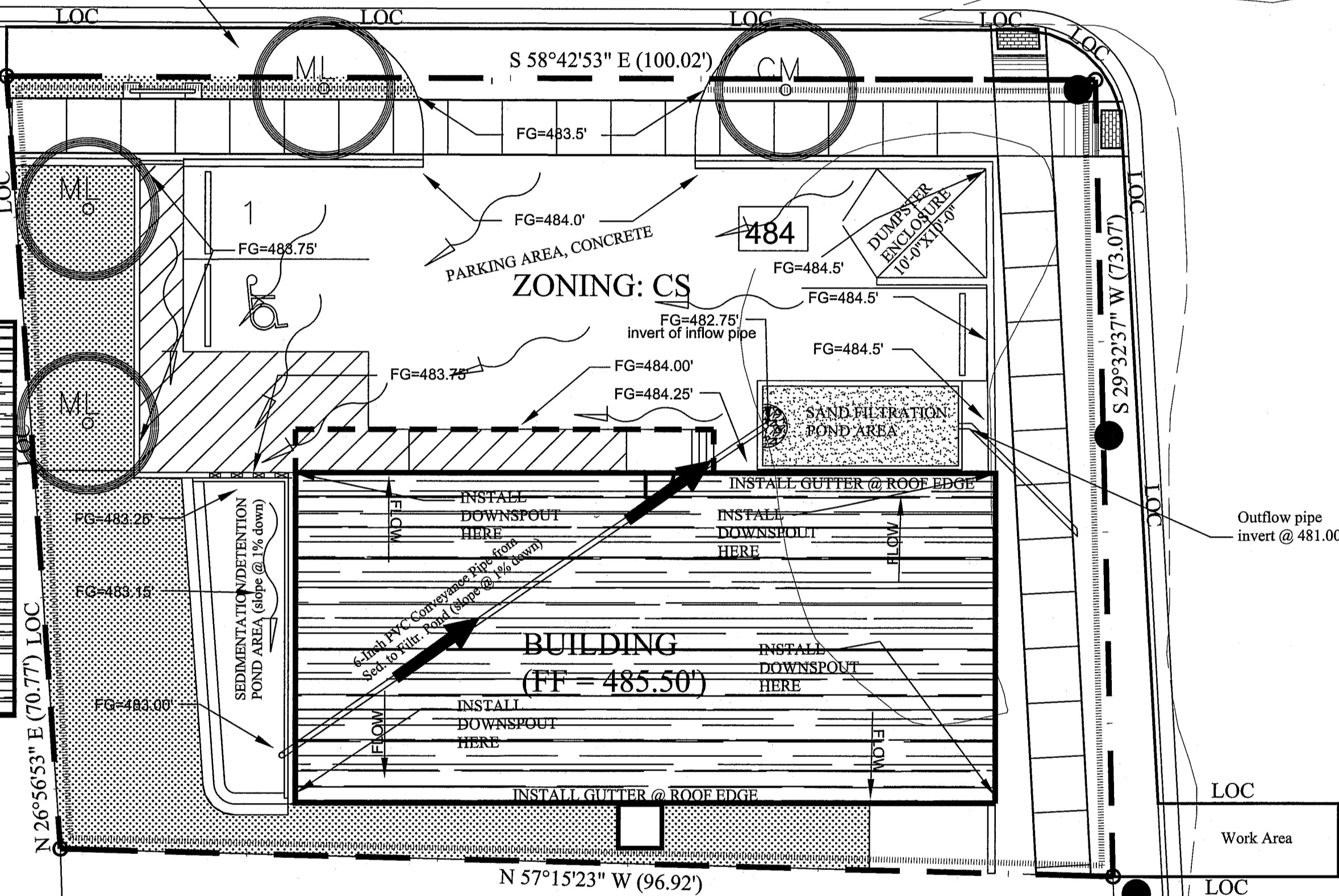
ZONING:
SF-3-NP

ZONING:
SF-3-NP

EXISTING DRIVEWAY

482

LANDSCAPING LEAVEOUTS
IN CONC.



ZONING:
SF-3-NP
8001/327

SINGLE FAMILY
RESIDENCE
SF-3-NP

482

THRASHER LANE
(ROW=Varies 30' to 55')

480

ZONING:
SF-3-NP
12460/1240

General Notes

DRAINAGE / GRADING NOTES:

1. Upon completion of the proposed site improvements, and prior to the release of the Certificate of Occupancy by the Watershed Protection and Development Review Department, the Design Engineer shall certify in writing that the proposed detention and filtration facilities were constructed in conformance with the approved plans.
2. Contractor shall call One Call Center (512) 472-2822 for utility locations prior to any work in City easements or street R.O.W.
3. NO CUT / FILL IN EXCESS OF 4'-0" WILL OCCUR ON-SITE FOR ANY CONSTRUCTION OPERATIONS.

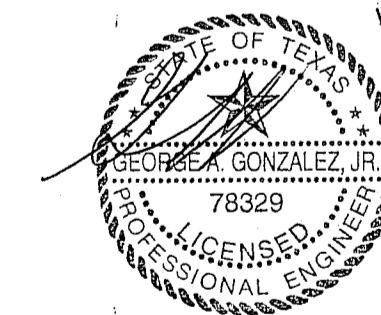
LEGEND:

- EXISTING TOPO. — 495 —
- PROPOSED TOPO. (SPOT ELEV.) — FG=480.0' —
- FG= FINISH GRADE

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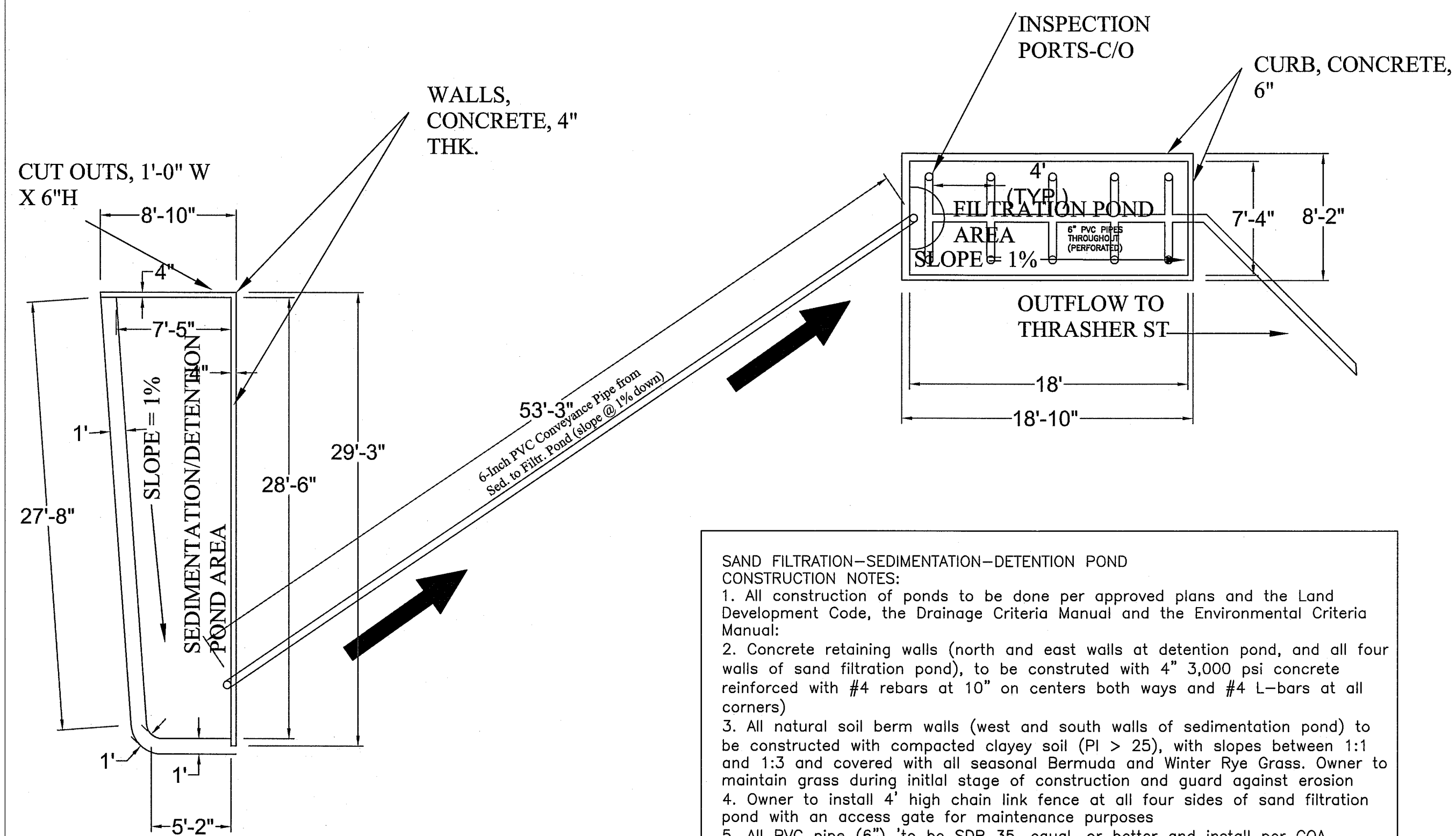
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GRADING AND DRAINAGE PLAN

TOP VIEW
SCALE = 1"=80'-0"



SAND FILTRATION-SEDIMENTATION-DETENTION POND
CONSTRUCTION NOTES:

- All construction of ponds to be done per approved plans and the Land Development Code, the Drainage Criteria Manual and the Environmental Criteria Manual;
- Concrete retaining walls (north and east walls at detention pond, and all four walls of sand filtration pond), to be constructed with 4" 3,000 psi concrete reinforced with #4 rebars at 10" on centers both ways and #4 L-bars at all corners;
- All natural soil berm walls (west and south walls of sedimentation pond) to be constructed with compacted clayey soil (PI > 25), with slopes between 1:1 and 1:3 and covered with all seasonal Bermuda and Winter Rye Grass. Owner to maintain grass during initial stage of construction and guard against erosion;
- Owner to install 4' high chain link fence at all four sides of sand filtration pond with an access gate for maintenance purposes;
- All PVC pipe (6") to be SDR 35, equal, or better and install per COA standards with a minimum slope of 1%;
- All water quality and detention ponds to be inspected by the COA and by the engineer of record.

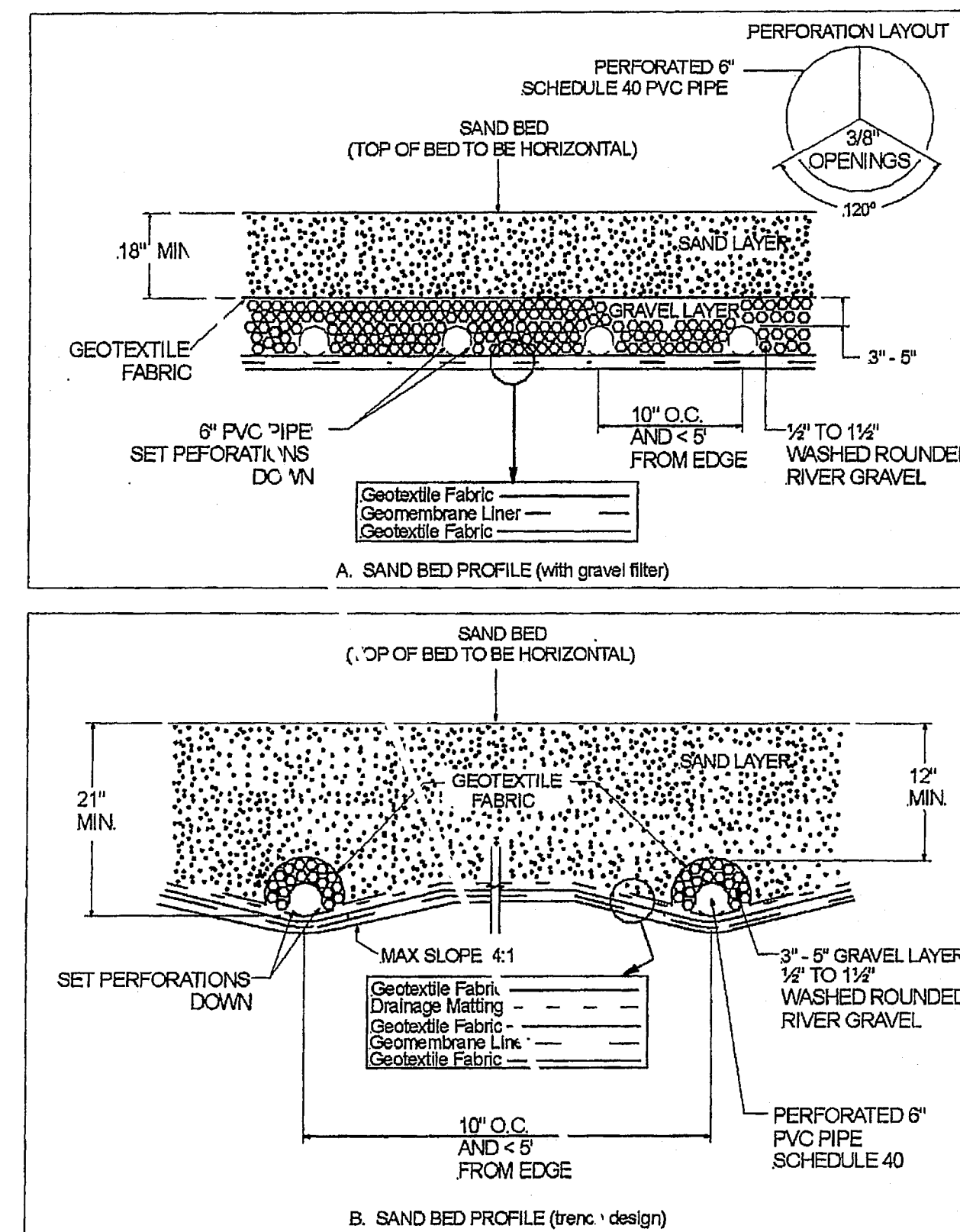
CALCULATIONS

WATER QUALITY VOLUME
SAND FILTRATION POND:
WQV = .15 X 1.15 INCHES X 3630
WQV = 418.0 CUBIC FEET
AREA OF FILTRATION CHAMBER
Af = 418.0 / (7 + 2.33 x2)
Af = 25 SQUARE FEET
AREA PROVIDED = 128 SQUARE FEET
VOLUME PROVIDED = 256 CUBIC FEET

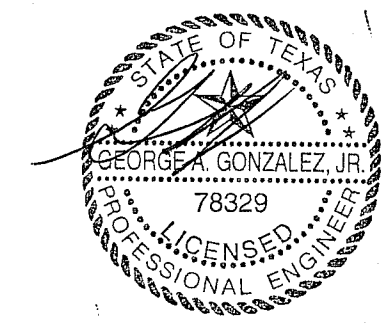
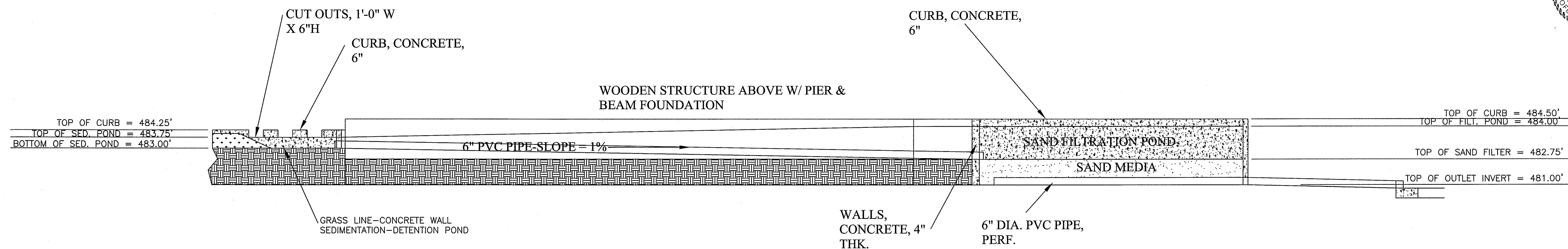
SEDIMENTATION POND:
REQUIRED AREA = > 20% WQV
REQUIRED AREA = > 85.0 SQUARE FEET
PROVIDED AREA = 261 SQUARE FEET
VOLUME PROVIDED = 522 CUBIC FEET

DETENTION VOLUME PROVIDED EXCEEDS
REQUIRED VOLUME BY (MIN.) 360 CUBIC FEET

Figure 1-58 Sand Bed Filtration Configurations Using Geomembrane Liner



WATER QUALITY /
DETENTION CONTROLS



General Notes
SAND FILTRATION POND DESIGN:
The proposed sand filtration pond is design and shall be constructed in accordance with the standards promulgated in Section 1.6.3 C of the Environmental Criteria Manual (EMC), as adopted under the City of Austin Land Development Code (LDC). The proposed detention pond shall be designed and shall be constructed in accordance with the standards promulgated in Section 1.6.2 of the EMC and the LDC.

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Cross Section
SCALE = 1/4"=1'-0"

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General Notes

WATER/WASTEWATER NOTES:
 1. ALL WATER LINES WORK SHALL CONFORM TO THE INTERNATIONAL PLUMBING CODE, CITY OF AUSTIN STANDARDS AND STREET AND BRIDE DEPARTMENT ORDINANCES
 2. ALL WATER/WASTEWATER PLUMBING CONTRACTORS SHALL BE LICENSED BY THE TEXAS BOARD OF PLUMBING EXAMINERS AND BONDED TO DO WORK IN THE CITY OF AUSTIN.

DOMESTIC DEMAND =
 FIXTURE UNITS =

CONSTRUCTION NOTE:
 1. CONTRACTOR SHALL INSTALL SAFETY CONSTRUCTION CHAIN-LINK FENCE AROUND ENTIRE PERIMETER OF CONSTRUCTION SITE (MIN. 6'TALL)

VERSION 7.00

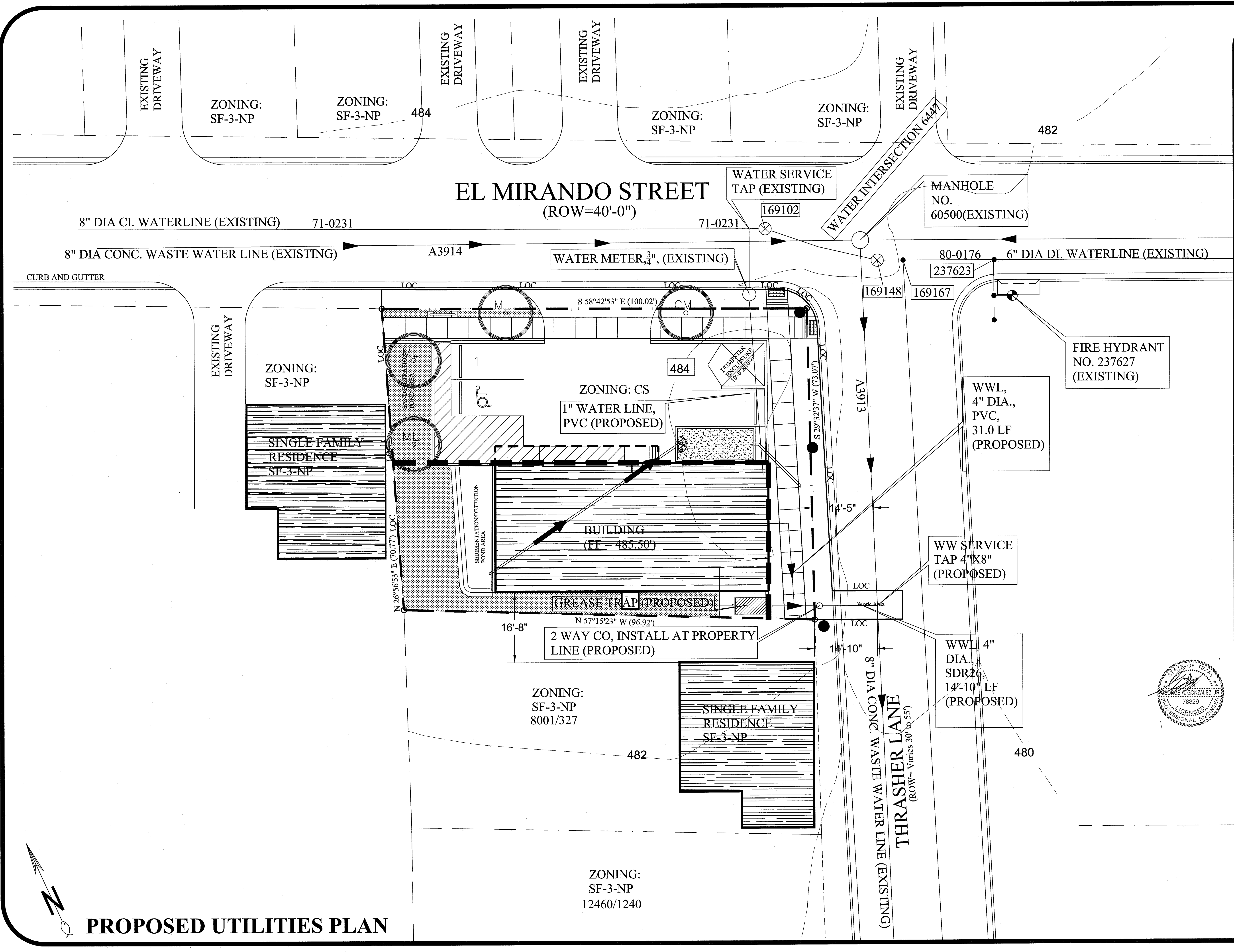
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PROPOSED UTILITIES PLAN

ZONING:
 SF-3-NP
 12460/1240

General Notes

1. THE ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO ADD AND / OR MODIFY EROSION AND SEDIMENTATION CONTROLS ON-SITE TO ENSURE THE PROJECT'S COMPLIANCE WITH THE CITY OF AUSTIN'S RULES AND REGULATIONS.

LEGEND

△ TREE PROTECTION

TREE SURVEY*:

TYPE: CAL IN.
T1-SYCAMORE 15"
T2 AMERICAN ELM 15"

NOTE: ALL EXISTING TREES TO BE REMOVED IN ORDER TO MEET CERTAIN REQUIREMENTS OF SUBCHAPTER E. REMOVED TREES TO BE MITIGATED FOR BY PLANTING REPLACEMENT TREES WITHIN THE STREET TREE / FURNITURE ZONE OF THE PROPOSED DEVELOPMENT.

VERSION 7.00

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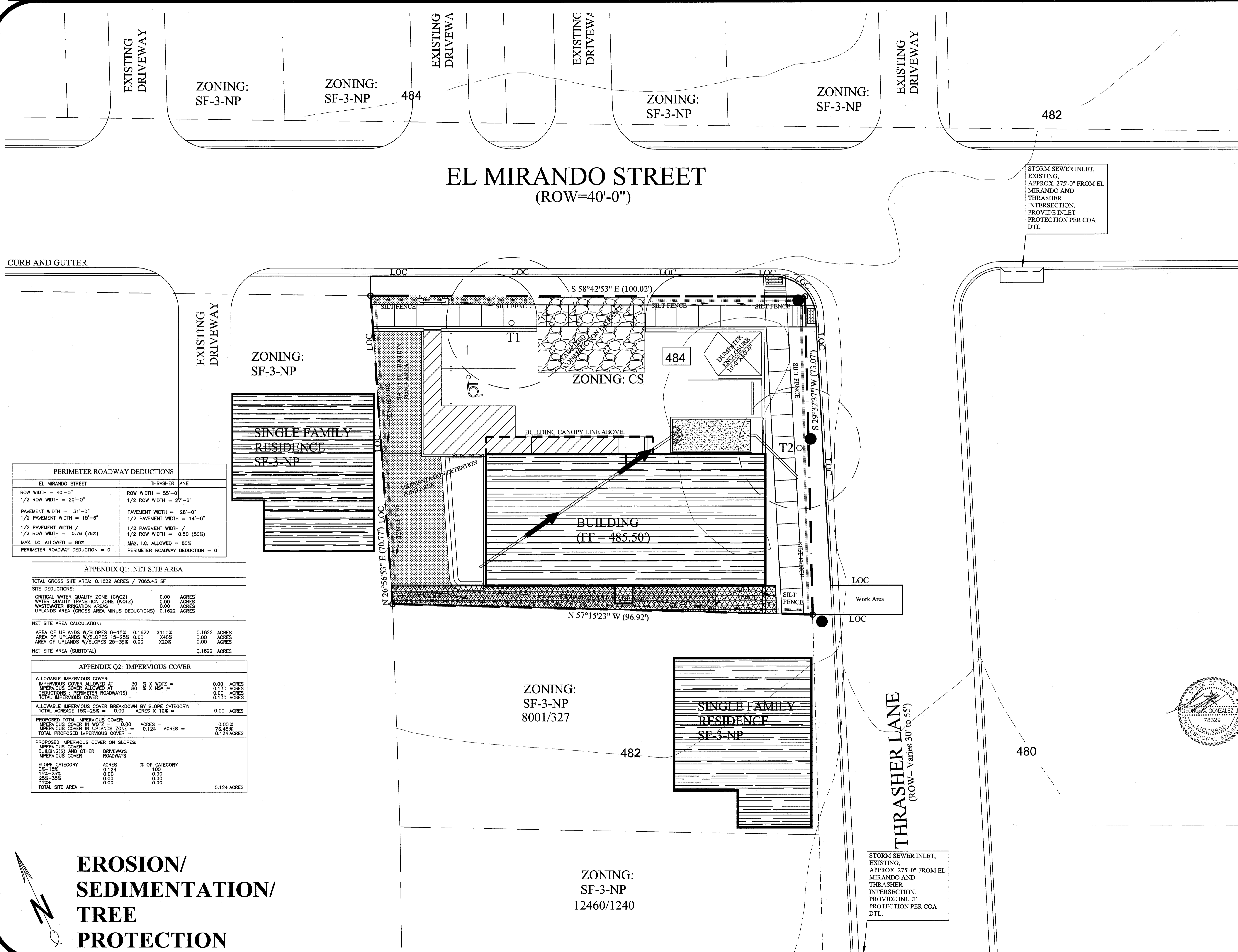
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EL MIRANDO STREET
(ROW=40'-0")



PERIMETER ROADWAY DEDUCTIONS

EL MIRANDO STREET	THRASHER LANE
ROW WIDTH = 40'-0"	ROW WIDTH = 55'-0"
1/2 ROW WIDTH = 20'-0"	1/2 ROW WIDTH = 27'-6"
PAVEMENT WIDTH = 31'-0"	PAVEMENT WIDTH = 28'-0"
1/2 PAVEMENT WIDTH = 15'-6"	1/2 PAVEMENT WIDTH = 14'-0"
1/2 PAVEMENT WIDTH / 1/2 ROW WIDTH = 0.76 (76%)	1/2 PAVEMENT WIDTH / 1/2 ROW WIDTH = 0.50 (50%)
MAX. L.C. ALLOWED = 80%	MAX. L.C. ALLOWED = 80%
PERIMETER ROADWAY DEDUCTION = 0	PERIMETER ROADWAY DEDUCTION = 0

APPENDIX Q1: NET SITE AREA

TOTAL GROSS SITE AREA: 0.1622 ACRES / 7065.43 SF

SITE DEDUCTIONS:

CRITICAL WATER QUALITY ZONE (CWQZ)	0.00	ACRES
WATER QUALITY TRANSITION ZONE (WQTZ)	0.00	ACRES
WASTEWATER IRRIGATION AREAS	0.00	ACRES
UPLANDS AREA (GROSS AREA MINUS DEDUCTIONS)	0.1622	ACRES

NET SITE AREA CALCULATION:

AREA OF UPLANDS W/SLOPES 0-15%	0.1622	X100%	0.1622	ACRES
AREA OF UPLANDS W/SLOPES 15-25%	0.00	X40%	0.00	ACRES
AREA OF UPLANDS W/SLOPES 25-35%	0.00	X20%	0.00	ACRES
NET SITE AREA (SUBTOTAL):			0.1622	ACRES

APPENDIX Q2: IMPERVIOUS COVER

ALLOWABLE IMPERVIOUS COVER:

IMPERVIOUS COVER ALLOWED AT 30% X WQTZ =	0.00	ACRES
IMPERVIOUS COVER ALLOWED AT 80% X NSA =	0.130	ACRES
DEDUCTIONS - PERIMETER ROADWAY(S) =	0.00	ACRES
TOTAL IMPERVIOUS COVER	0.130	ACRES

ALLOWABLE IMPERVIOUS COVER BREAKDOWN BY SLOPE CATEGORY:

TOTAL ACRES 15%-25% =	0.00	ACRES X 10% =	0.00	ACRES
-----------------------	------	---------------	------	-------

PROPOSED TOTAL IMPERVIOUS COVER:

IMPERVIOUS COVER IN WQTZ =	0.00	ACRES =	0.00%
IMPERVIOUS COVER IN UPLANDS ZONE =	0.124	ACRES =	76.45%
TOTAL PROPOSED IMPERVIOUS COVER =	0.124	ACRES	

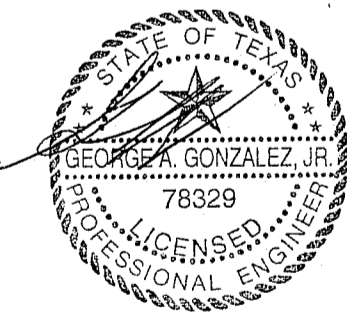
PROPOSED IMPERVIOUS COVER ON SLOPES:

SLOPE CATEGORY	ACRES	% OF CATEGORY
0%-15%	0.124	100
15%-25%	0.00	0.00
25%-35%	0.00	0.00
35%+	0.00	0.00
TOTAL SITE AREA =		0.124 ACRES

**EROSION/
SEDIMENTATION/
TREE
PROTECTION**

ZONING:
SF-3-NP
12460/1240

STORM SEWER INLET,
EXISTING,
APPROX. 275'-0" FROM EL
MIRANDO AND
THRASHER
INTERSECTION.
PROVIDE INLET
PROTECTION PER COA
DTL.



SF-3-NP

SF-3-NP

484

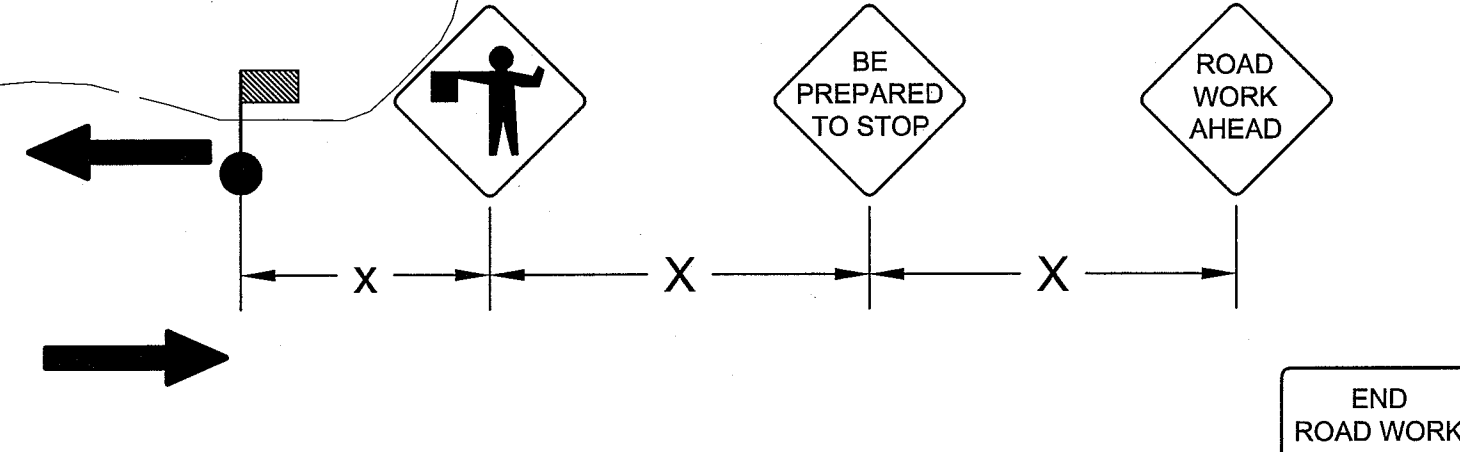
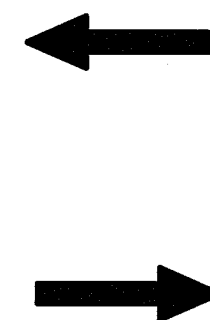
ZONING:
SF-3-NP

ZONING:
SF-3-NP

482

EL MIRANDO STREET (ROW=40'-0")

END
ROAD WORK

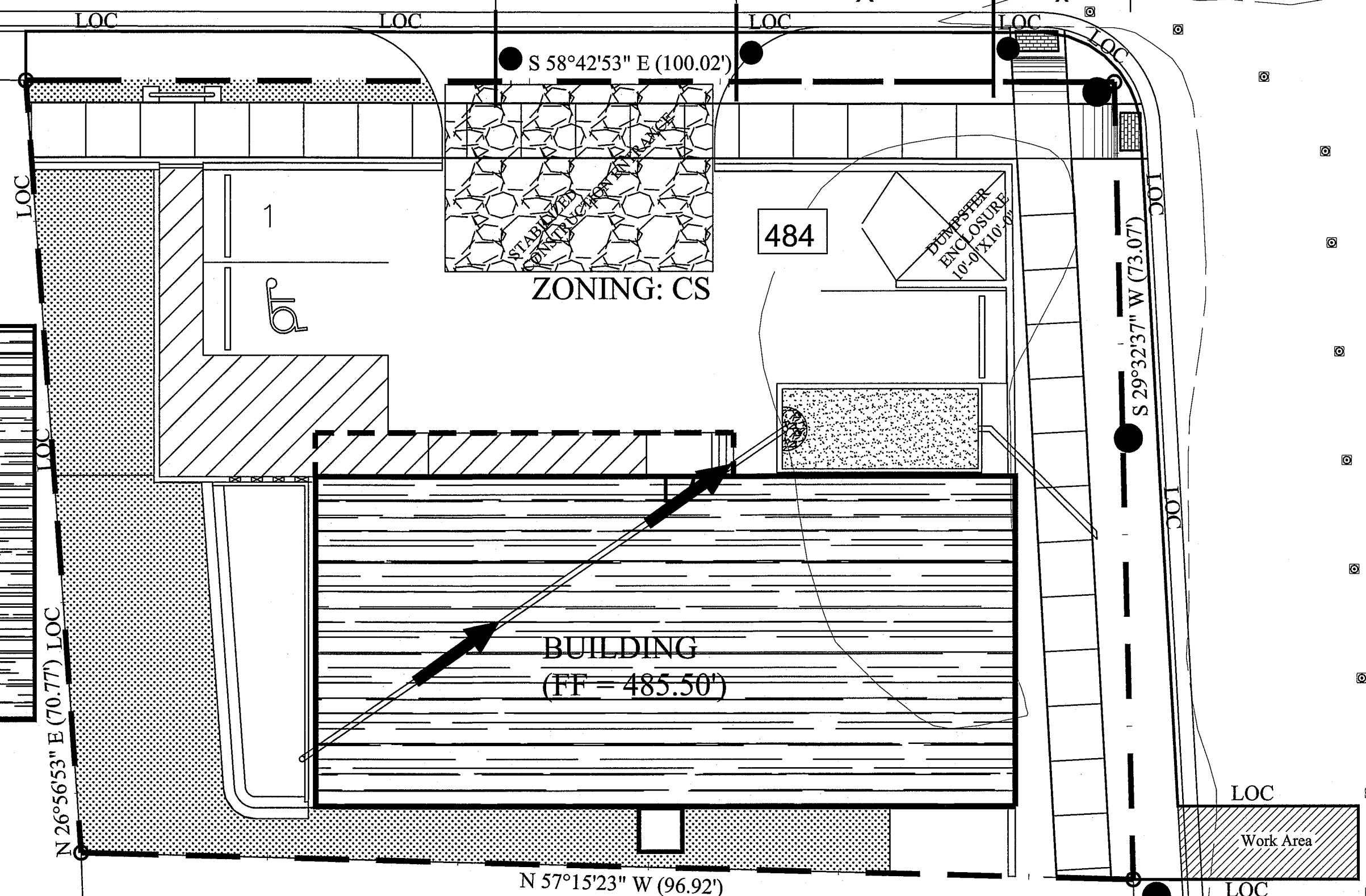


General Notes

EXISTING
DRIVEWAY

ZONING:
SF-3-NP

SINGLE FAMILY
RESIDENCE
SF-3-NP



BUILDING
(FF = 485.50')

ZONING:
SF-3-NP
8001/327

SINGLE FAMILY
RESIDENCE
SF-3-NP

THRASHER LANE
(ROW= Varies 30' to 55')

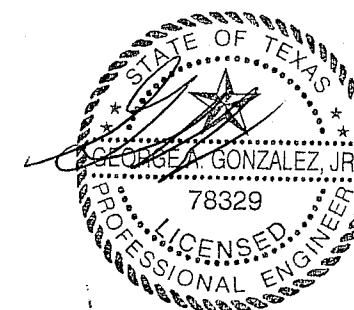
ZONING:
SF-3-NP
12460/1240

480

END
ROAD WORK

STANDARD TRAFFIC CONTROL GENERAL NOTES

- For Right-of-Way work started without permit or when permit expires and City of Austin Right-of-Way is still being used, an investigation fee equal to the cost of the permit will be assessed each day until the permit or renewal has been obtained.
- Notify City of Austin, Right of Way six(6) days prior to starting work in the City of Austin R.O.W.
- Phase change request shall be e-mailed to the City of Austin, WPDR, Right of Way Management. Please call (512) 974-7180 for e-mail address. Phase change request shall include: Plan name (as is on Plan set that is being referred to), Plan Sheet, Phase date, time and approximate duration. *Permit will be issued in phases to match Plan set.
- Provide training certification of competent person that will be responsible for the traffic control placement, Right Of Way management 974-7180, prior to starting work.
- No storage of equipment or material in City of Austin, R.O.W. will be permitted when workers are not present in the area.
- Roadway shall be returned to full use at end of daily-approved work hours, unless otherwise noted per project plans.
- Contractor shall have an approved R.O.W.M.A.N. (Right of Way Management Approval Network) and Permit on site at all times when working in the City of Austin R.O.W.
- No more than one location may be set at one time without written permission from City of Austin, WPDR, Right of Way Management.
- Works Hours are 9 am to 4 pm Monday thru Friday and 7 am to 7 pm Saturday and Sunday, unless specifically noted in the project plans.
- Peak hours are 6 am to 9 am and 4 pm to 6 pm Monday thru Friday. All arterial and collector roads shall not have any activity or reductions of pre-existing motorized or pedestrian routes. Violation of this peak rules may result in 4 day suspension of Right Of Way use.
- Any excavation exceeding the standard plating detail shall have material on site to backfill or contractor to provide Structural Engineered plating to the City of Austin, WPDR, Right Of Way Management Division for approval prior to starting work.
- Existing sidewalk and beaten paths shall be maintained as ADA complaint, throughout the project duration with the exception of final flat work and utilities tie-ins. Any work over head within 25 ft or existing walkway will require pedestrian covered walkways. Sidewalk closures for large sidewalk improvements have a 14 day maximum period, and shall be completed in phases as to not block more than one block and or crosswalk at a time.
- All utility work shall be completed before placement of pedestrian walkway. Walkway to be placed prior to building going vertical.
- Place a "Road Work Ahead" and "Construction Entrance Ahead" sign on all approaches to SCE (Stabilized Construction Entrance). See the City of Austin Standard Detail 804S-1, 9 of 9 for sign spacing.
- Road closed and Type III barricades shall be placed across point of road tie-ins to existing R. O.W. Construction entrances shall be addressed the same as tie-ins at the end of the working day.
- Driveway and small section sidewalk work has a maximum closure of 3 days.
- ADA compliance shall be maintained thru SCE (Stabilized Construction Entrance).
- All placement of traffic barriers shall be prepared by the Engineer of Record. If no specific engineered plans is in place, the contractor shall obtain a plan that has been approved by the City of Austin, WPDR, Right Of Way Management, prior to beginning of work on the project.
- For overnight protection of work zone in Austin R.O.W., refer to City of Austin Standard detail 804 S-4, 1 thru 4 of 9. If plating is needed, refer to Detail 804S-4, 7 of 9
- Field personnel may adjust signage as needed due to physical constraints and driveway locations.



VERSION 7.00

No. Revision/Issue Date

Firm Name and Address
G/E
 Genesis 1 Engineering Co.
 2605 Jones Rd, Suite E
 Austin, Texas 78745-2684
 (512) 899-2246 Office
 (512) 899-2203 Fax
 engineer1@genesis1engineering.com

Project Name and Address
 GREEN CART FOOD PREPARATION
 FACILITY
 6319 EL MIRANDO STREET
 AUSTIN, TRAVIS COUNTY, TEXAS

Project AU-07-83 Sheet
 Date 01/24/09 CE 9
 Scale 1"=10'-0" OF 13

REFERENCED STANDARDS:

- Temporary sidewalk closure: 804-S-1 (4, 8, & 9 of 9)
- Steel plate installation: 804-S-4 (5, 6 of 8)
- Safety netting: 804-S-4 (1, 2 of 8)
- Barricades: 804-S5 (3-7 of 13)

SPECIFICATIONS:

- All barricades shall be provided by a traffic control barricade company listed and approved by the COA Watershed Protection and Development Review Dept., Right-of-Way Management Division
- All TCP operations shall be supervised by a "competent Traffic Control specialist"
- Training records of "competent traffic control specialist shall be submitted to ROW Management"
- All roadway work shall be returned to full use at end of work day (Mon-Fri 9:00 am to 4:00pm & Sat 7:00am to 7:00pm)
- All ROW work at driveway approach shall necessitate the closure of the sidewalk at Lamar Square Drive. The sidewalk shall not be closed longer than 2 consecutive calendar days
- After hours and off construction periods, the ROW work shall be secured with orange safety netting.

TRAFFIC CONTROL PLAN

CASE NO.: SP-2008-0121C

General Notes

- IRRIGATION NOTES:**
Automatic irrigation systems shall comply with the following guidelines. These guidelines (A - G) shall be noted on the Site Development Permit and shall be implemented as part of the landscape inspection:
- Adjustable flow controls shall be required on circuit remote control valves and pressure regulation component(s) shall be required where static pressure exceeds manufacturer's recommended operating range.
 - Valve and circuits shall be separated based on water use, so that turf areas are watered separately from shrub and ground cover areas. Irrigation heads in the turf areas will be valved separately from shrub and/or ground cover areas. It is recommended that seasonal color areas be watered separately from turf areas.
 - Sprinkler heads shall have matched precipitation rates within each control valve circuit.
 - Serviceable check valves shall be required adjacent to paved areas where elevation differences may cause low head drainage.
 - Sprinkler head spacing shall be designed for head-to-head coverage or heads shall be spaced as per manufacturer's recommendations and adjusted for prevailing winds. The system shall be designed so that irrigation is not applied to vehicular traffic lanes, other pavement or structures.
 - All automatic irrigation systems shall be equipped with a controller capable of dual or multiple programming. Controllers shall have multiple cycle start capacity and a flexible calendar program, including the capability of being set to water every five days. All automatic irrigation systems shall be equipped with a rain sensor shut-off device.
 - Irrigation construction plans shall include a water budget. A laminated copy of the water budget shall be permanently installed inside the irrigation controller door. Water budget shall include:
 - Chart containing zone number, precipitation rate and gpm.
 - Location of emergency irrigation system shut-off valve.
 - To schedule a free City of Austin irrigation audit, call 974-3542.

- LANDSCAPING NOTES:**
- ALL LANDSCAPED AREAS ARE TO BE PROTECTED BY 6" WHEEL CURBS, WHEEL STOPS, OR OTHER APPROVED BARRIERS AS PER THE COA ECM 2.4.7.
 - THE OWNER WILL CONTINUOUSLY MAINTAIN THE REQUIRED LANDSCAPING IN ACCORDANCE WITH THE CITY OF AUSTIN'S LAND DEVELOPMENT CODE, SECTION 25-2-984.

TREE SURVEY:

TYPE:	CAL. IN.
T1: SYCAMORE	15"
T2 AMERICAN ELM	15"

LEGEND:

STREET YARD BOUNDARY

VERSION 7.00

No.	Revision/Issue	Date

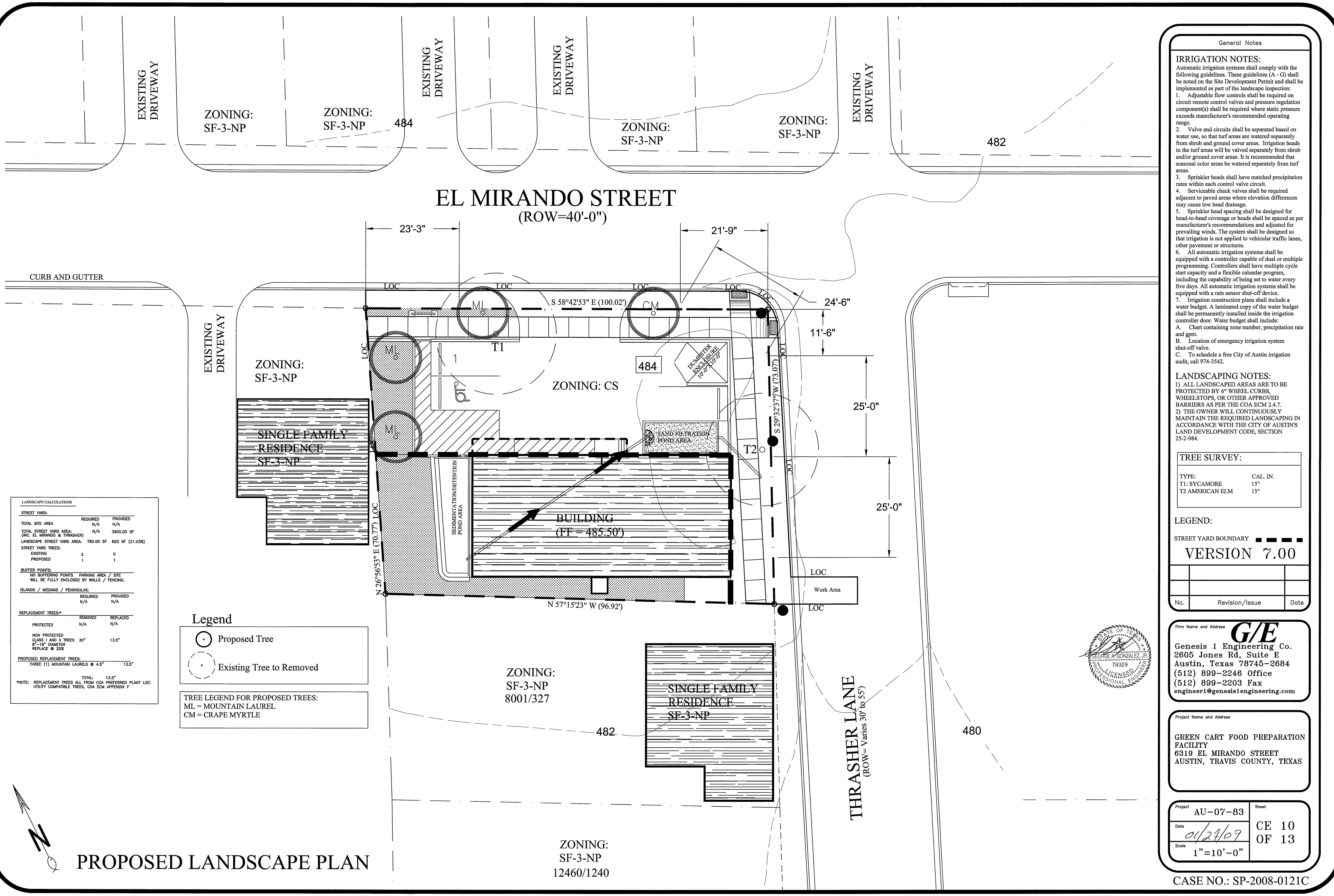
Firm Name and Address
G/E
 Genesis 1 Engineering Co.
 2605 Jones Rd, Suite E
 Austin, Texas 78745-2684
 (512) 899-2246 Office
 (512) 899-2203 Fax
 engineer1@genesis1engineering.com

Project Name and Address
 GREEN CART FOOD PREPARATION FACILITY
 6319 EL MIRANDO STREET
 AUSTIN, TRAVIS COUNTY, TEXAS

Project	AU-07-83	Sheet	
Date	01/24/09	CE	10
Scale	1"=10'-0"	OF	13

CASE NO.: SP-2008-0121C

EL MIRANDO STREET
(ROW=40'-0")



LANDSCAPE CALCULATIONS

STREET YARD:	REQUIRED	PROVIDED
TOTAL SITE AREA	N/A	N/A
TOTAL STREET YARD AREA (INC. EL MIRANDO & THRASHER)	N/A	3900.00 SF
LANDSCAPE STREET YARD AREA:	780.00 SF	820 SF (21.03%)

STREET YARD TREES:

	EXISTING	PROPOSED
	2	0
	1	1

BUFFER POINTS:
NO BUFFERING POINTS. PARKING AREA / SITE WILL BE FULLY ENCLOSED BY WALLS / FENCING.

ISLANDS / MEDIANS / PENINSULAS:

	REQUIRED	PROVIDED
	N/A	N/A

REPLACEMENT TREES:

	REMOVED	REPLACED
PROTECTED	N/A	N/A
NON PROTECTED CLASS I AND II TREES 30" 8"-18" DIAMETER REPLACE @ 25%		13.5"

PROPOSED REPLACEMENT TREES:
THREE (3) MOUNTAIN LAURELS @ 4.5" 13.5"

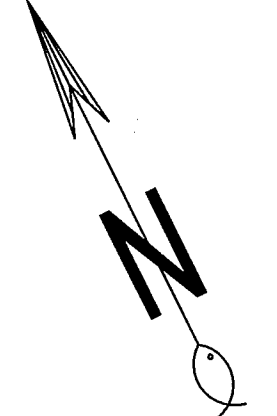
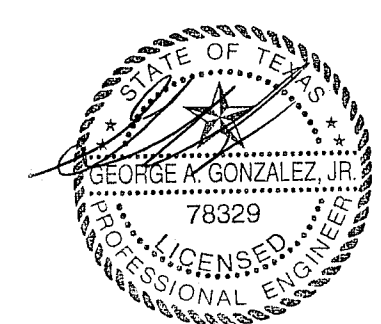
TOTAL: 13.5"
 *NOTE: REPLACEMENT TREES ALL FROM COA PREFERRED PLANT LIST. UTILITY COMPATIBLE TREES, COA ECM APPENDIX F

Legend

○ Proposed Tree

○ Existing Tree to Removed

TREE LEGEND FOR PROPOSED TREES:
 ML = MOUNTAIN LAUREL
 CM = CRAPE MYRTLE



PROPOSED LANDSCAPE PLAN

ZONING:
SF-3-NP
12460/1240